

## Exchange Tower | Building Specifications

### General Description

Exchange Tower is a certified green building with a Gold level of certification in the Leadership in Energy and Environmental Design (LEED®) Existing Buildings: Operations and Maintenance program. The property has also achieved a WELL Health-Safety™ Rating for safe operation from the International Well Building institute (IWBI).

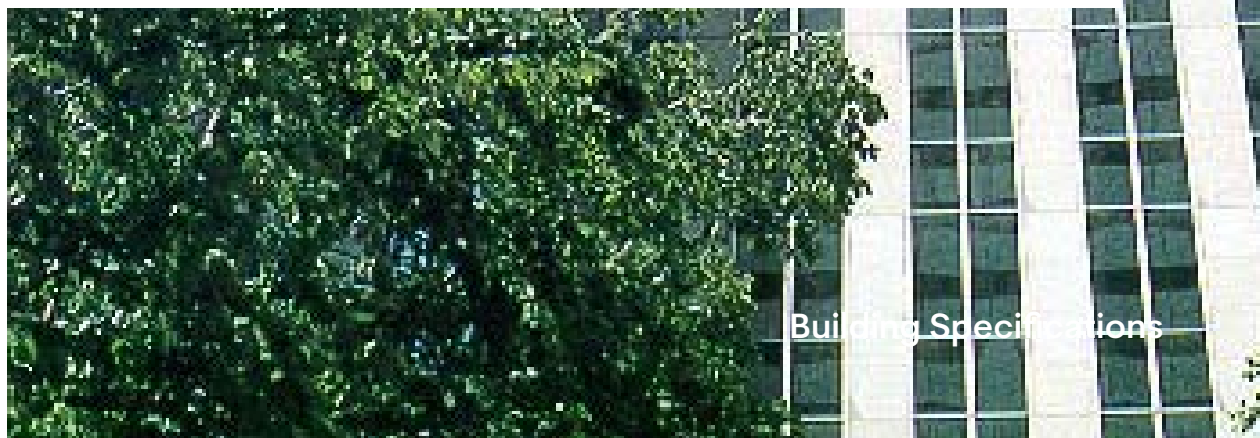
Located at 130 King Street West in Toronto at the corner of York and King Streets, Exchange Tower is ideally situated in the downtown Financial District. The 36-storey property boasts over 1 million square feet of rentable space with typical floors containing approximately 25,000 square feet. Exchange Tower is conveniently linked to neighbouring properties via the underground PATH system and was uniquely designed to complement the existing architecture of Brookfield's First Canadian Place, with which it shares parking and loading dock facilities, concourse-level and ground floor.

The property has undergone major renovations to the exterior grounds, office and retail areas, and significant upgrades to multi-tenanted floor lobbies and washrooms.



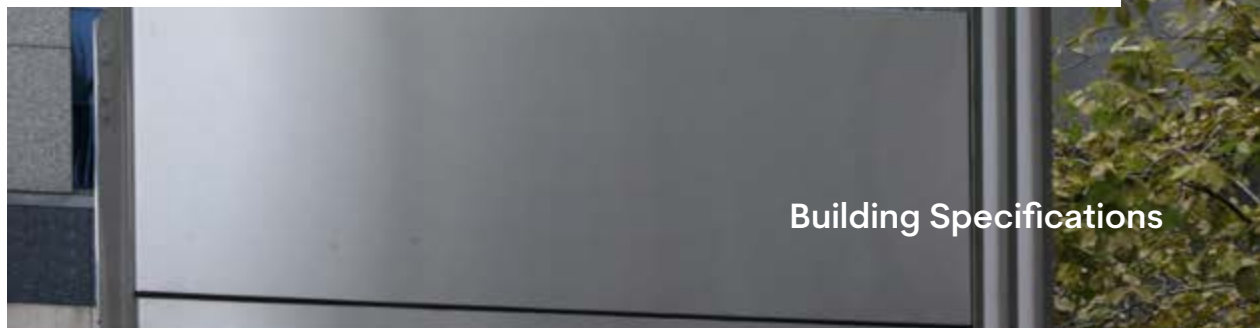


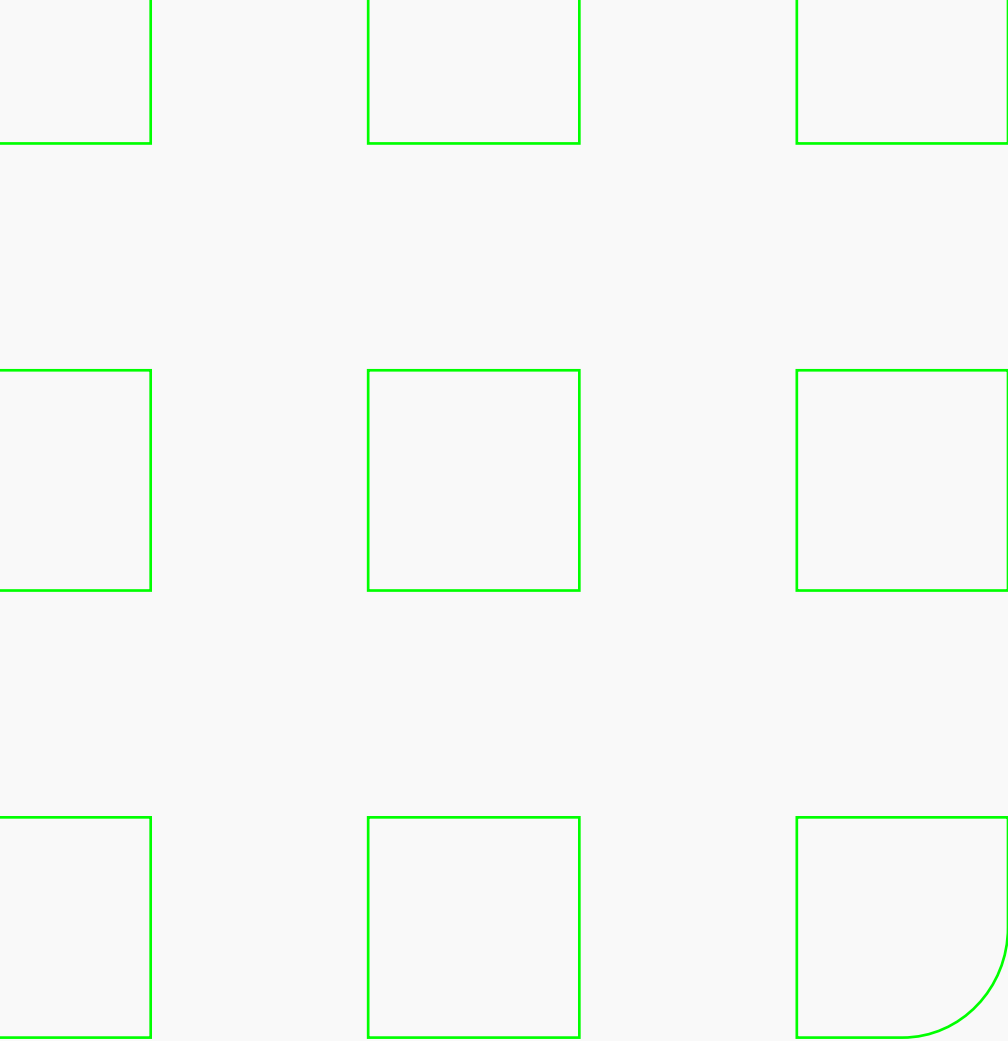
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| <b>Design Architect</b>                          | Original - B+H Architects<br>Current - The Webb Zerafa Menkes Housden Partnership  |
| <b>General Contractor</b>                        | O & Y Developments   |
| <b>Mechanical Engineer</b>                       | The Mitchell Partnership Ltd. (TMP)  |
| <b>Electrical Engineer</b>                       | Hidi Rae   |
| <b>Structural Engineer</b>                       | Yolles M.S. Partners Ltd.  |
| <b>Completion Date</b>                           | Built 1981   |
| <b>Building Height</b>                           | 324 Feet, 36 stories   |
| <b>Design Load</b>                               | 100 pounds per square foot live load including partition allowance   |
| <b>Rentable Area</b>                             | 1,026,412 square feet (including retail and pavilion areas)  |
| <b>Typical Floor Area</b>                        | Approximately 25,000 SF  |
| <b>Ceiling Heights</b>                           | Slab-to-slab heights on office floors average 11 FT<br>Standard floor to ceiling height is 9 FT  |
| <b>Mullion Spacing</b>                           | 10 feet  |
| <b>Interior Columns</b>                          | None   |
| <b>Heating, Ventilation and Air Conditioning</b> | <p>Computerized state-of-the-art digital control and monitoring system performs environmental control and energy management functions for all major mechanical systems providing the building occupants with comfortable, reliable and energy efficient operation.</p> <p>The Building Automation and Energy Management System is primarily Johnson equipment. In addition to equipment operation and control, the system performs charts, graphs and trend functions.</p> |





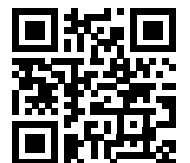
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| <b>Design Criteria</b>                  | The building's HVAC systems are designed to meet or exceed Ashrae Building Code requirements. Design conditions are based upon occupancy of not more than one person per 150 usable square feet.                                 |
| <b>Heat</b>                             | Heat is supplied by heat reclaiming, chillers and gas fired boilers.   |
| <b>Air Conditioning</b>                 | Cooling is provided by 2 950 Tons of Cooling.  |
| <b>Standard Hours of HVAC Operation</b> | 7:00 AM to 6:00 PM, Monday through Friday<br>Supplemental HVAC is available 24 hours a day   |
| <b>Electricity</b>                      | Building-standard power consists of 3 watts per usable square foot, connected load, provided by Toronto Hydro.   |
| <b>Electric Closet</b>                  | 2 per floor  |
| <b>Telephone Closet</b>                 | 2 per floor  |
| <b>Number of Passenger Elevators</b>    | 19 elevators organized into 3 banks:<br>Low-rise (South bank)<br>8 cabs service floors 3 to 21<br>High-rise (North bank)<br>8 cabs service floors 22 to 36<br>Podium Shuttle 3 cabs service Parking Levels K to 4th Floor Podium |
| <b>Passenger Elevator Capacity</b>      | 1 813 Kg. depending on elevator bank   |
| <b>Passenger Elevator Speed</b>         | 700 - 800 FPM (ft. per minute), depending on bank  |
| <b>Number of Service Elevators</b>      | 2 freight elevators:<br>1 service from B3 up to 36<br>1 service Loading Dock down to B2  |
| <b>Service Elevator Capacity</b>        | 2 040 Kg.  |
| <b>Service Elevator Size</b>            | 7'5" Depth, 6'2" Wide, 12' Height  |





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